

SHEET SCHEDULE

01 SITE PLAN 1;200

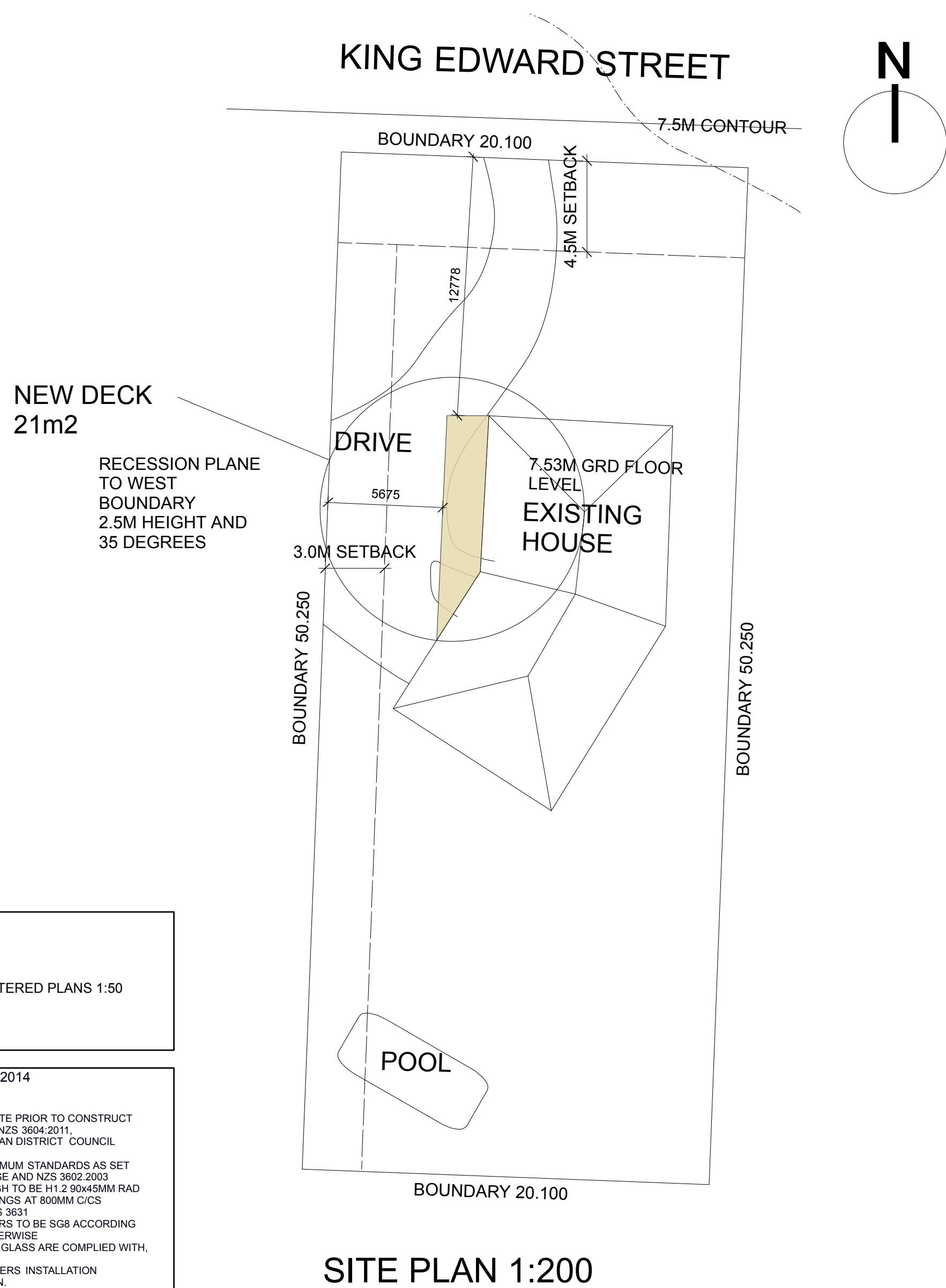
02 EXISTING PLANS 1:100, ALTERED
PLANS 1:50

03 CROSS-SECTIONS 1-1,1;20

04 ELEVATIONS 1;50

05 DETAILS , BRACING 1:100

Tasman District Council	
BUILDING CONSENT AUTHORITY	
APPROVED DRAWINGS	
Consent Number BC	145738
Signed	
Date	20/11/2014
ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL	



SHEET SCHEDULE

- 01 SITE PLAN 1:200
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STANDARD NOTES --TENNET 2014 113 KING EDWARD ST

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCT
ALL CONSTRUCTION TO COMPLY WITH NZS 3604:2011,
THE NZ BUILDING CODE AND THE TASMAN DISTRICT COUNCIL
BYLAWS
ALL TIMBER TREATMENTS TO BE TO MINIMUM STANDARDS AS SET
OUT IN B2/AS1 NZBC DURABILITY CLAUSE AND NZS 3602.2003
ALL EXTERNAL WALL FRAMING 2.4M HIGH TO BE H1.2 90x45MM RAD
PINE STUDS AT 600 MM MAX C/CS -DWANGS AT 800MM C/CS
ALL TIMBER TO BE GRADED AS PER NZS 3631
STRESS GRADING: ALL FRAMING TIMBERS TO BE SG8 ACCORDING
TO NZS 3604 :2011 UNLESS NOTED OTHERWISE
ENSURE NZS SAFETY STANDARDS FOR GLASS ARE COMPLIED WITH,
NZS 4223.
REFER TO ALL PRODUCT MANUFACTURERS INSTALLATION
INSTRUCTIONS PRIOR TO INSTALLATION.

BRIEF
THE PROJECT INVOLVES THE REMOVAL OF THE EXISTING DECK
AND THE REPLACEMENT WITH A NEW DECK OF SLATED TIMBER
DECKING . A NEW ALUMINIUM POWDER COATED BALUSTRADE
SYSTEM WITH GLAZED PANEL. WIDTH IS 1.88 PLUS A CANTILEVER
OF 450MM SUPPORTING POSTS ARE TO BE INCORPORATED IN THE
EXISTING PLANTING/ LANDSCAPING SO AS NO TO AFFECT THE
EXISTING SEALED DRIVEWAY WHERE POSSIBLE . AT THE STREET
END OF THE DECK , THE DECK LINES UP FLUSH WITH THE GABLE
END AT THE OTHER END ,THE DECK FINISHES SHORT OF THE FINAL
POST IN ORDER TO ALLOW FOR A PRACTICAL RETURN OF
BALUSTRADING. MAIN BEAM AND POST ARE ENGINEERED AND
TREATED TIMBER . POSTS SET 1200MM INTO CONCRETE HAVE THEIR
INDIVIDUAL BRACING COMPONENT WHICH DOES AWAY WITH THE
NEED FOR DIAGONAL BRACING.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION
A4 INFORMATION AND PRODUCT INFORMATION

REFER TO A4 ADDITIONAL INFORMATION
FOLDER FOR WIND ZONE AND RISK MATRIX
CALCULATIONS

LEGAL DESCRIPTION:
PART 3 SECT 177 DP 2616
AREA: 1012 M2
PLANNING ZONE: RESIDENTIAL
AREA OF EXISTING HOUSE + UNCOVERED
DECK= 135.52
PERCENTAGE SITE COVERAGE = 13.33%
CORROSSION ZONE= C
WIND ZONE = LOW
EARTQUAKE ZONE = 2
SNOW ZONE = N3 < 400M
RISK MATRIX = 5
THEREFORE
DIRECT FIX FIBRE CEMENT WEATHERBD OK

EXISTING HOUSE



**SITE LOCATION PLAN 113 KING EDWARD ST,
MOTUEKA NTS**

SCHEDULE OF TIMBER TREATMENT
(FOR FULL DETAILS REFER B2/AS1 2011)
FOLLOWING FOR BOTH RAD PINE & DOUGLAS FIR UNLESS STATED
OTHERWISE

H1.2 FRAMING PROTECTED FROM THE WEATHER BUT EXPOSED TO GROUND ATMOSPHERE

JACK STUDS, SUBFLOOR BRACES, WALL PLATES, FLOOR JOISTS TO
SUBFLOOR, BLOCKING, WALINGS AND BATTENS, NOGS AND DIAGONAL
BOARDS
INTERIOR SOLID WOOD FLOORING FOR GROUND FLOORS

H1.2 ENCLOSED ROOF FRAMING AND TRUSSES
SARKING AND FRAMING NOT PROTECTED FROM SOLAR DRIVEN MOISTURE
THROUGH ABSORBENT CLADDING MATERIALS
ENCLOSED FLAT ROOF FRAMING AND ASSOCIATED ROOF MEMBERS
ENCLOSED SKILLION ROOF FRAMING AND ASSOCIATED ROOF MEMBERS
VALLEY BOARDS AND BOARDS SUPPORTING FLASHINGS FOR BOX
GUTTERS, ROOF PENETRATIONS AND UPSTANDS TO ROOF DECKS
ALL ROOF TRUSSES, INCLUDING GABLE END TRUSSES, ROOF FRAMING.
CEILING AND EAVES FRAMING, PURLINS AND BATTENS

H1.2 ENCLOSED WALL FRAMING PROTECTED FROM WEATHER
FRAMING AND OTHER MEMBERS WITHIN OR BENEATH A PARAPET
FRAMING AND OTHER MEMBERS WITHIN ENCLOSED DECKS OR BALCONIES
(SEE H3.2 FOR CANTILEVERED DECKS)
FRAMING AND OTHER MEMBERS WITHIN ENCLOSED CANTILEVERED DECKS
(INCLUDING JOIST TRIMMERS, NOGS AND BLOCKING)
FRAMING AND OTHER MEMBERS SUPPORTING ENCLOSED DECKS OR
BALCONIES (INCLUDING FOR CANTILEVERED DECKS)

H3.1
BATTENS USED BEHIND CLADDING TO FORM A CAVITY (H3.1 TREATMENTS
CAN BE EITHER SOLVENT-BASED OR BORON. H3.1 BORON TREATMENTS
SUPPLIED GREY PRIMER -PAINTED)
ALL OTHER EXTERIOR WALL FRAMING AND OTHER MEMBERS INCLUDING
EXTERIOR AND BOUNDARY JOISTS

H 1.2 INTERNAL WALL FRAMING INTERNAL WALLS

H 1.2 MID-FLOOR FRAMING
ALL MID-FLOOR FRAMING, INCLUDING BOUNDARY JOISTS, CEILING FRAMING
AND CEILING BATTENS AND DOUBLE TOP PLATES

H 1.2 INTERIOR FLOORING INTERIOR FLOORING

OTHER FRAMING: **NONE**

WALL FRAMING AND ROOF FRAMING (INCLUDING TRUSSES) PROTECTED
FROM THE WEATHER, IN UNLINED AND UNOCCUPIED FARM BUILDINGS AND
OUTBUILDINGS, EXCEPT BUILDINGS WITH HIGH INTERNAL HUMIDITY, SUCH
AS SAUNAS, SPAS ETC

H3.2 RADIATA PINE
FRAMING EXPOSED TO THE WEATHER AND ABOVE GROUND

H4 RADIATA PINE
FRAMING, SUCH AS FENCE POSTS AND LANDSCAPE TIMBERS, THAT IS
EXPOSED TO THE WEATHER AND IS IN CONTACT WITH THE GROUND

H5 RADIATA PINE
FRAMING, SUCH AS HOUSE PILES, POLES AND CRIB WALLING,, THAT IS
EXPOSED TO THE WEATHER AND IS IN CONTACT WITH THE GROUND.

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BC 145738
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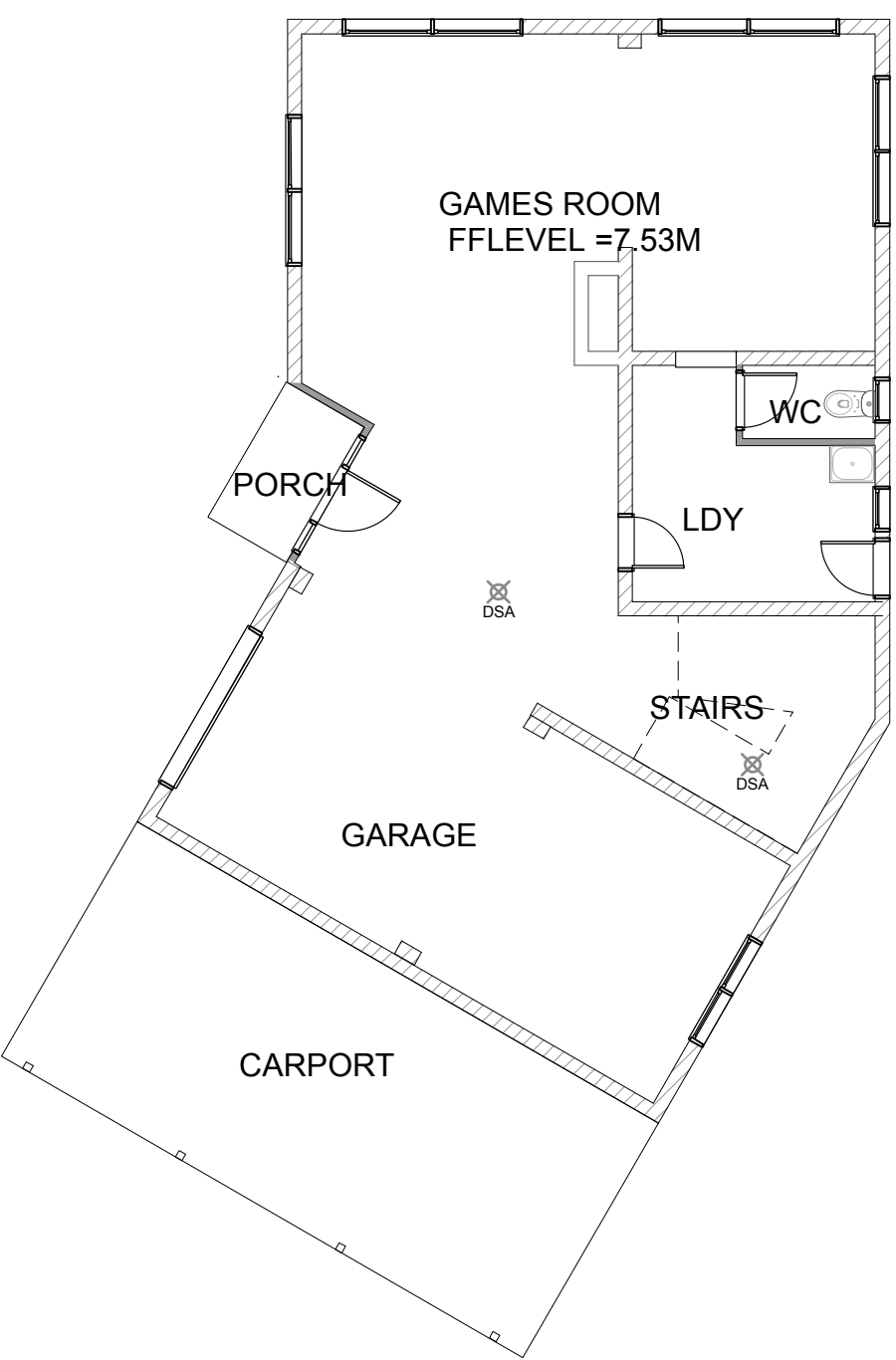
MICHAEL REID LTD
ARCHITECTURAL DESIGN

104 White Road, Hope, Nelson, P 03 544 7102 M 027 278 4210

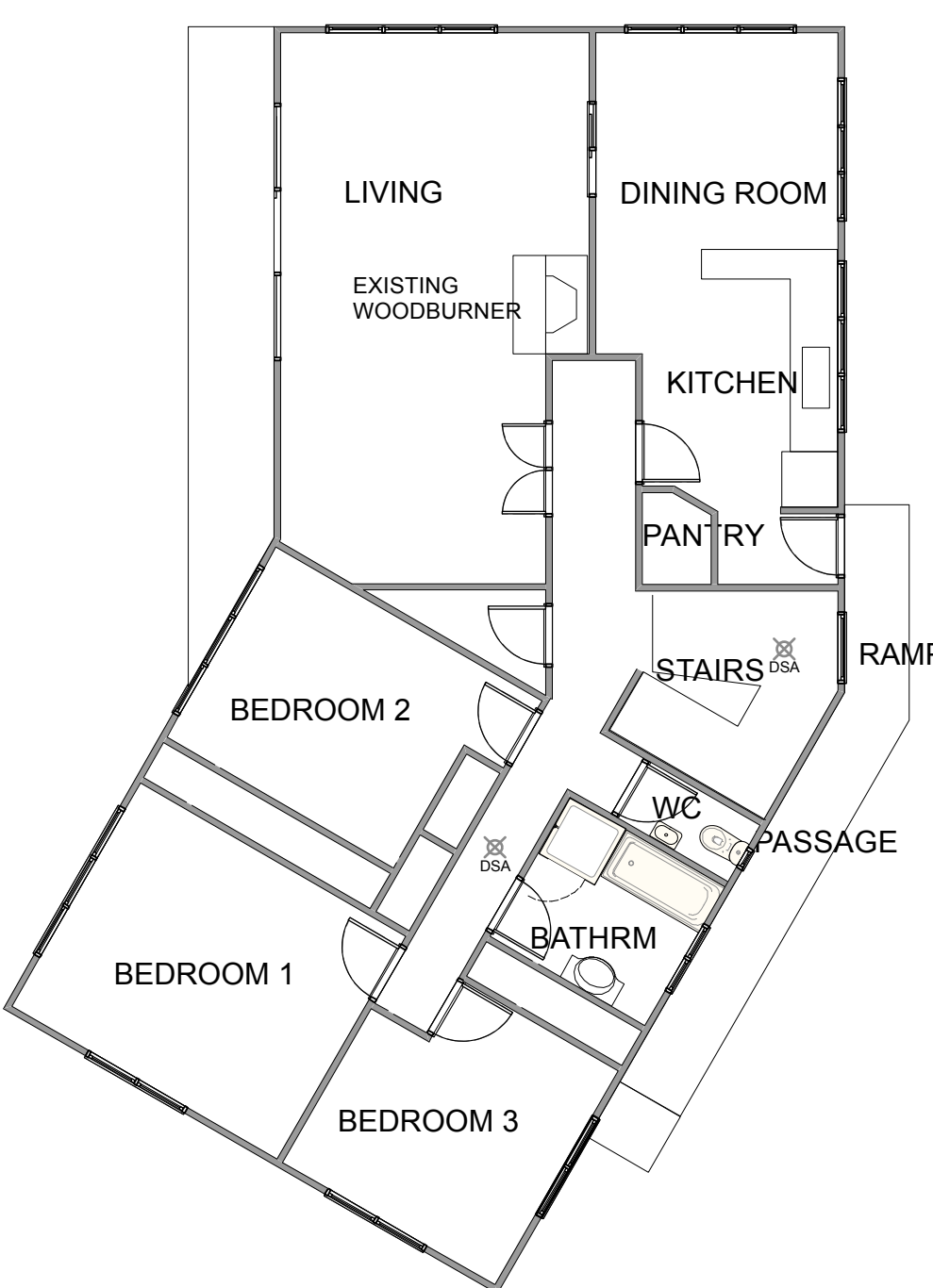
Licensed Building Practitioner BP104710 Design D2

ISSUE	DATE	REVISION	PROJECT #
PROJECT	NEW DECK FOR ELIZABETH TENNET HOUSE		18014
CLIENT	113 KING EDWARD ST, MOTUEKA		DWG #
DWG	DATE #	OCT 2014	01
	SCALE @ A2	1:200	
	DRAWN		
	CHKD		REVISION

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EXISTING GROUND FLOOR PLAN 1:100
FLOOR AREA 105.47M2
SHOWING NEW SMOKE ALARMS



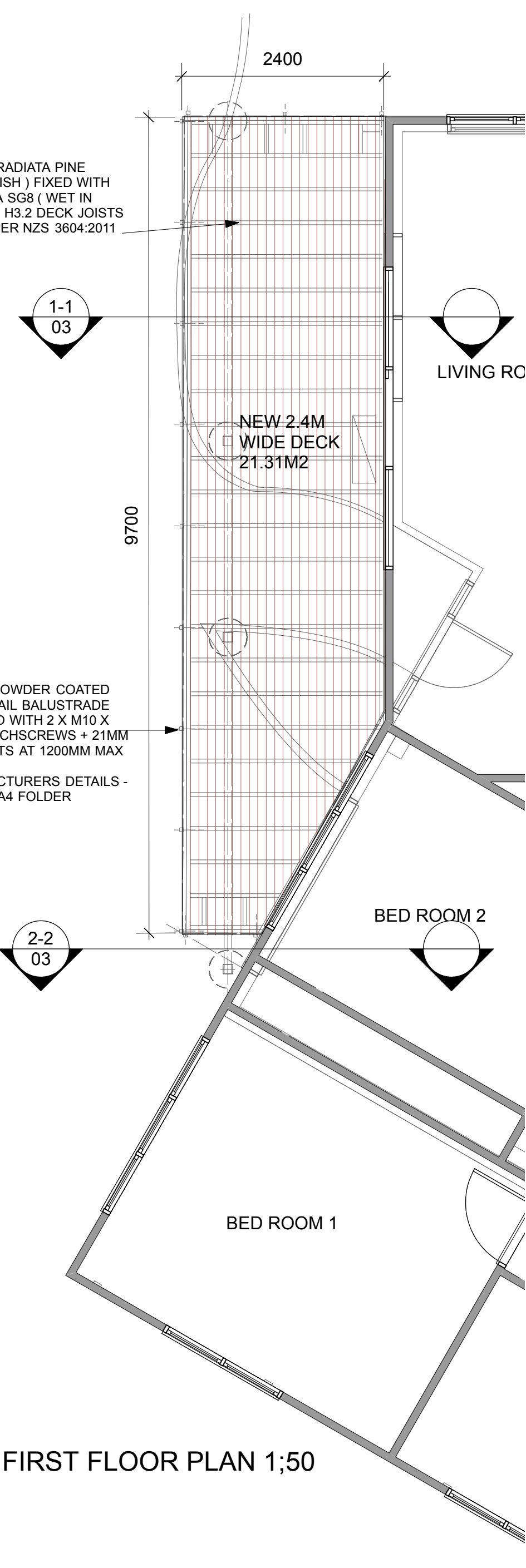
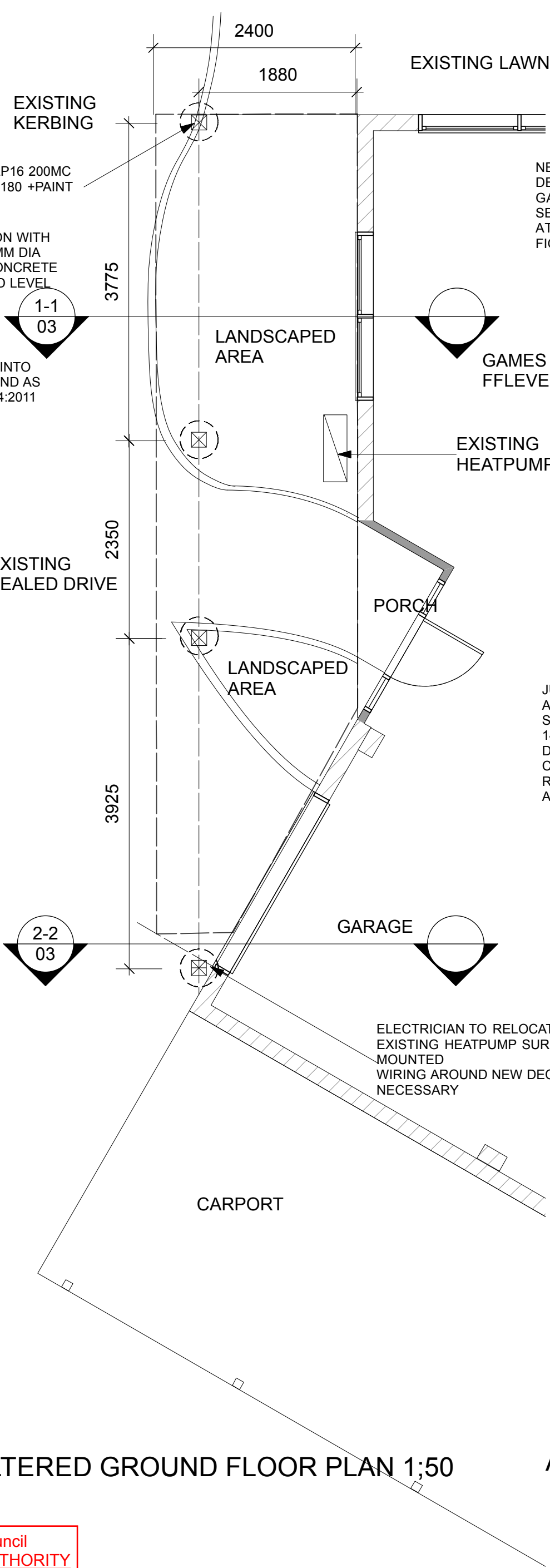
EXISTING FIRST FLOOR PLAN 1:100
FLOOR AREA 135.52M2
SHOWING NEW SMOKE ALARMS

SMOKE ALARMS :
LOCATION OF SMOKE ALARMS;
ON ALL ESCAPE ROUTES ON ALL LEVELS
(HALLWAYS, LOBBIES, STAIRWELLS).

IN EVERY SLEEPING SPACE OR
WITHIN 3.0M OF EVERY SLEEPING SPACE AND
TO BE AUDIBLE TO SLEEPING OCCUPANTS ON
OTHER SIDE OF CLOSED DOORS.

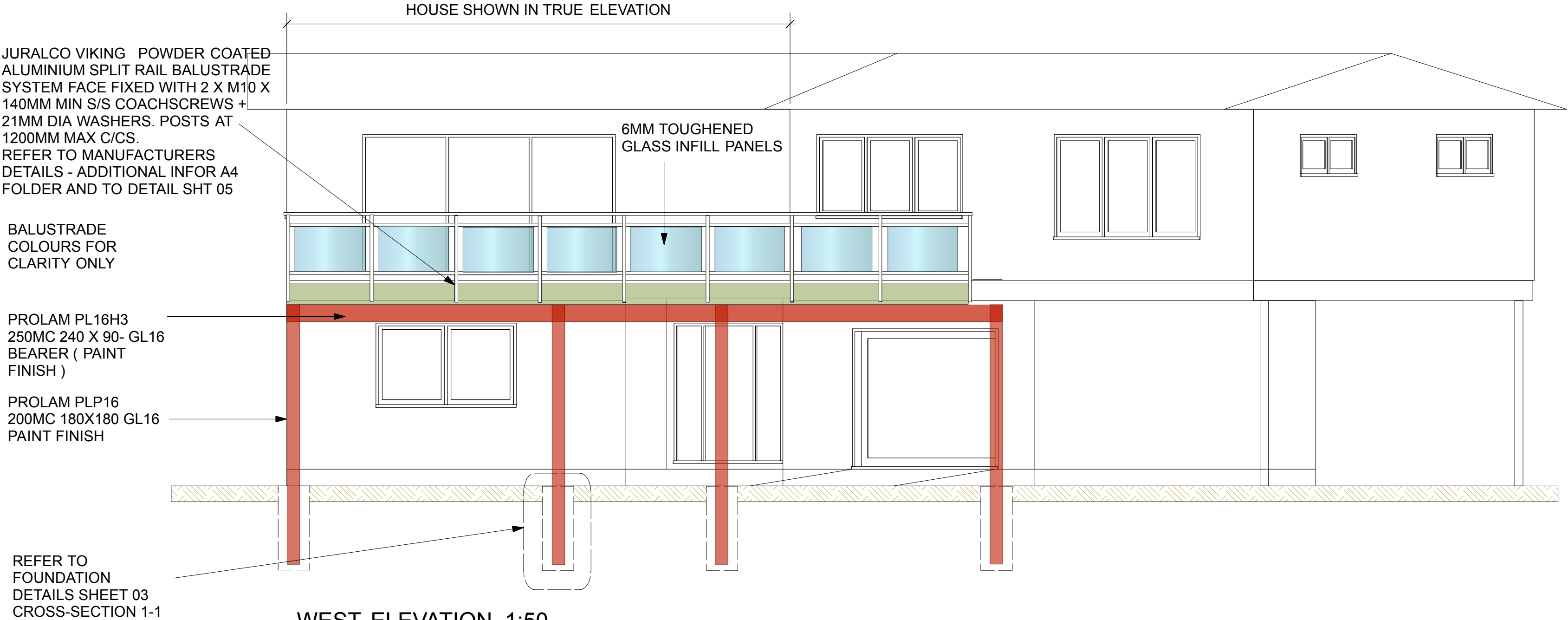
SMOKE ALARM TYPE 1 DOMESTIC:
HAVE AN ACCESSIBLE TEST AND HUSH
FACILITY.
TO MEET ONE OF THE FOLLOWING
STANDARDS:
UL 217, CAN/ULC S531, AS 3786, BS 5446:PT 1.

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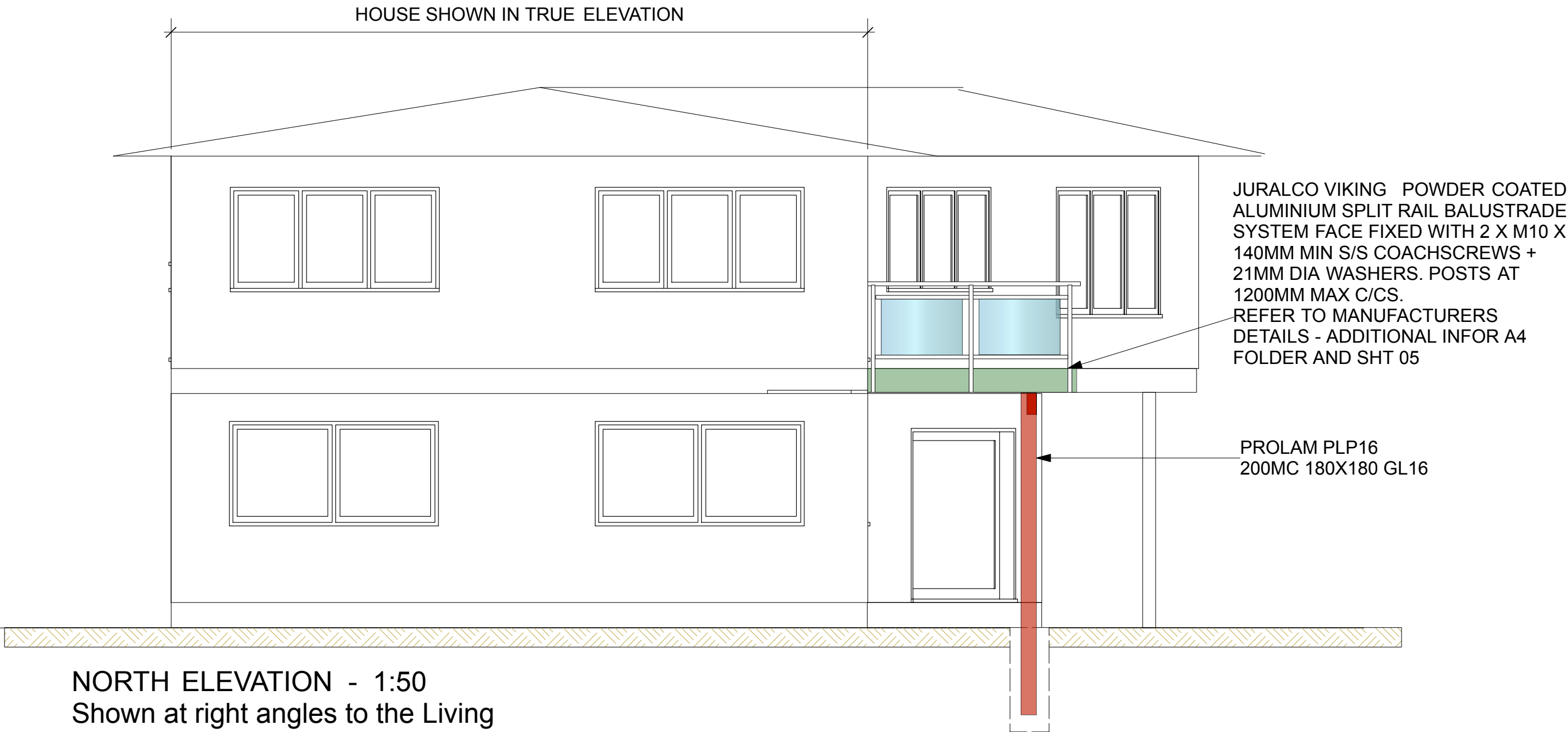


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DWG	Existing Plans 1:100, 1:50	SCALE @ A2 1:100 DRAWN MR 02	
		CHKD MR REVISION	



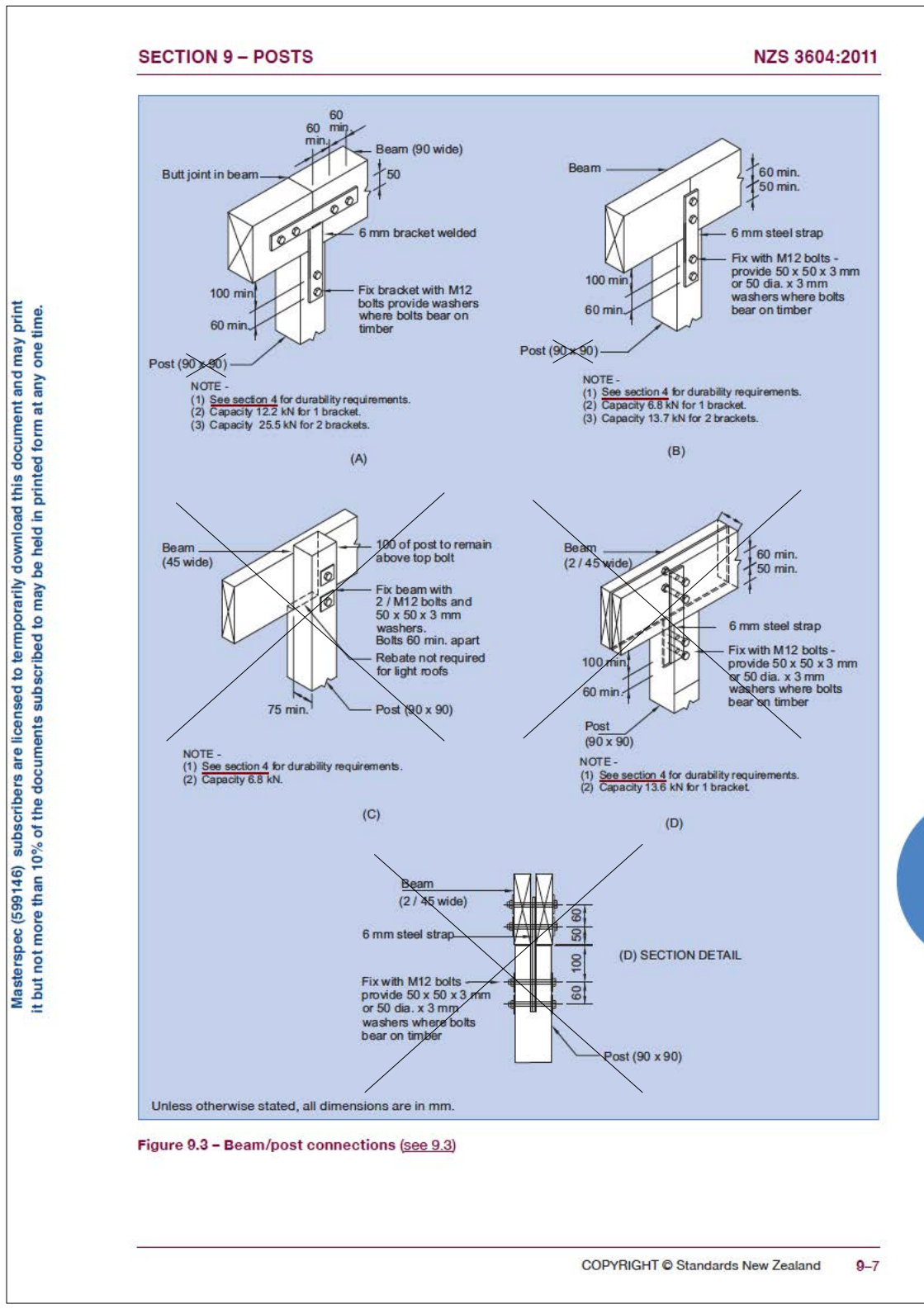
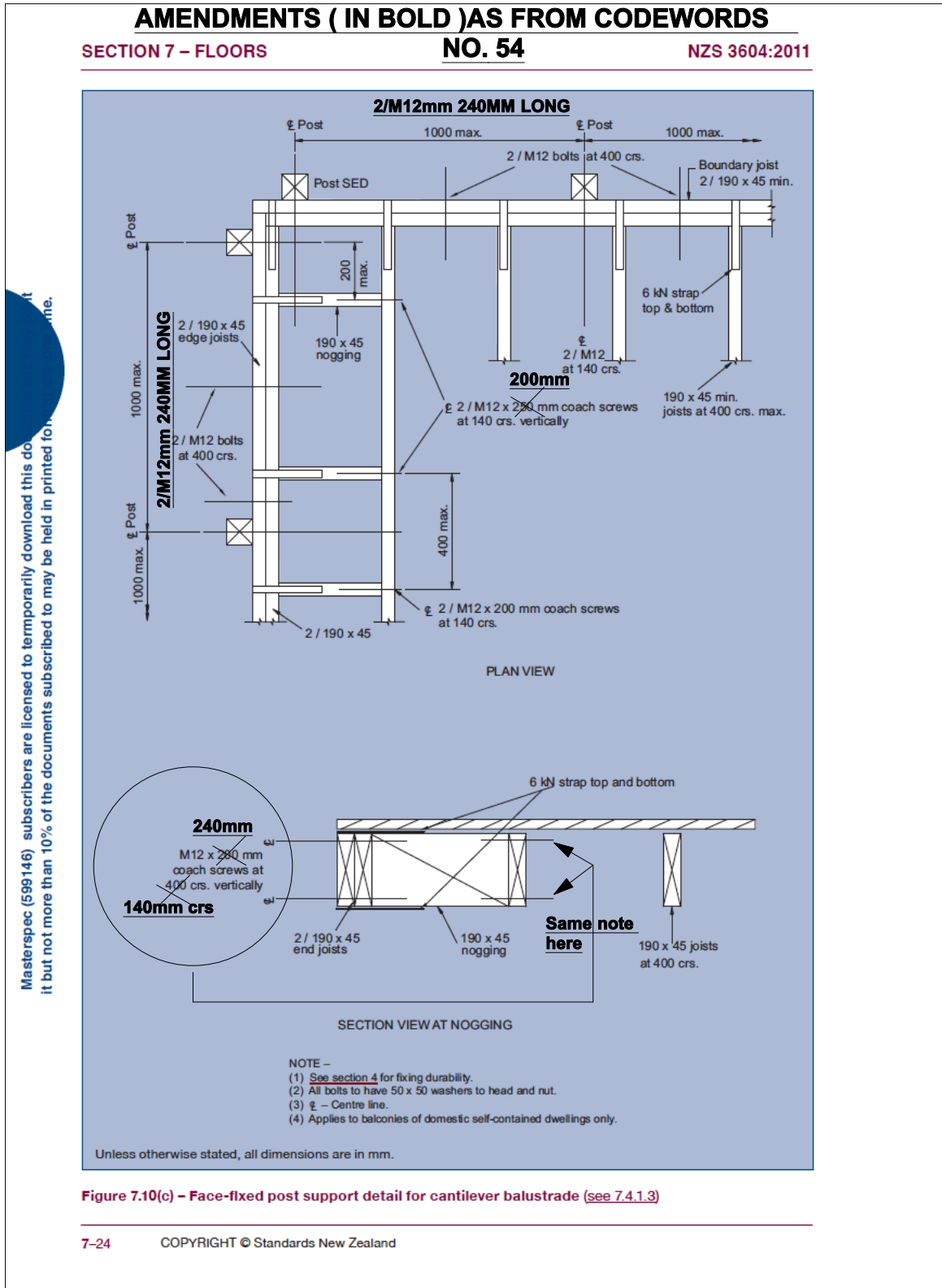
WEST ELEVATION 1:50
Shown at right angles to the Living
Area- other walls are not intrue
elevation



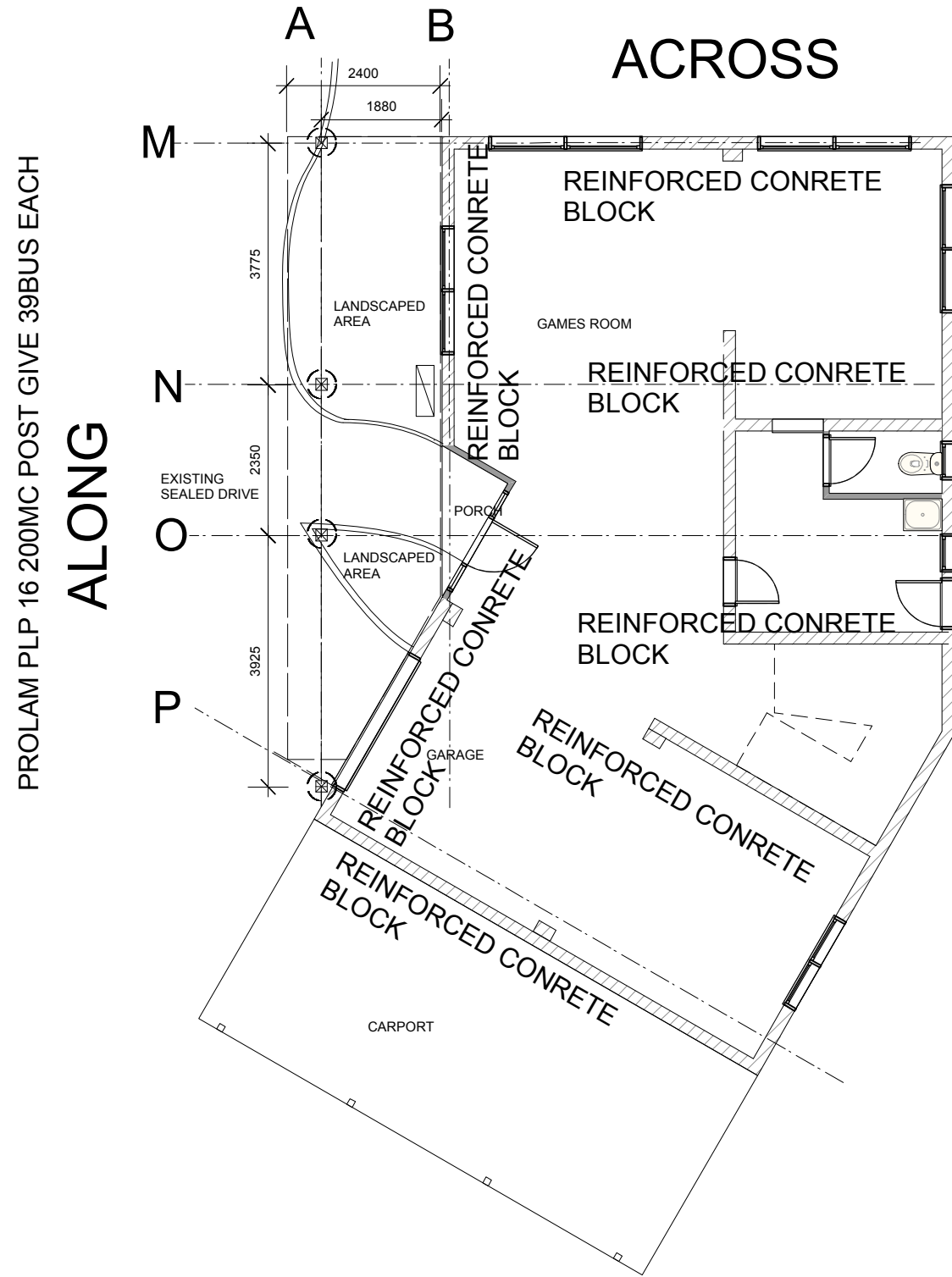
NORTH ELEVATION - 1:50
Shown at right angles to the Living
Area- other walls are not intrue
elevation

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DWG	Elevations 1:50	DRAWN MR	CHKD	04
			REVISION	

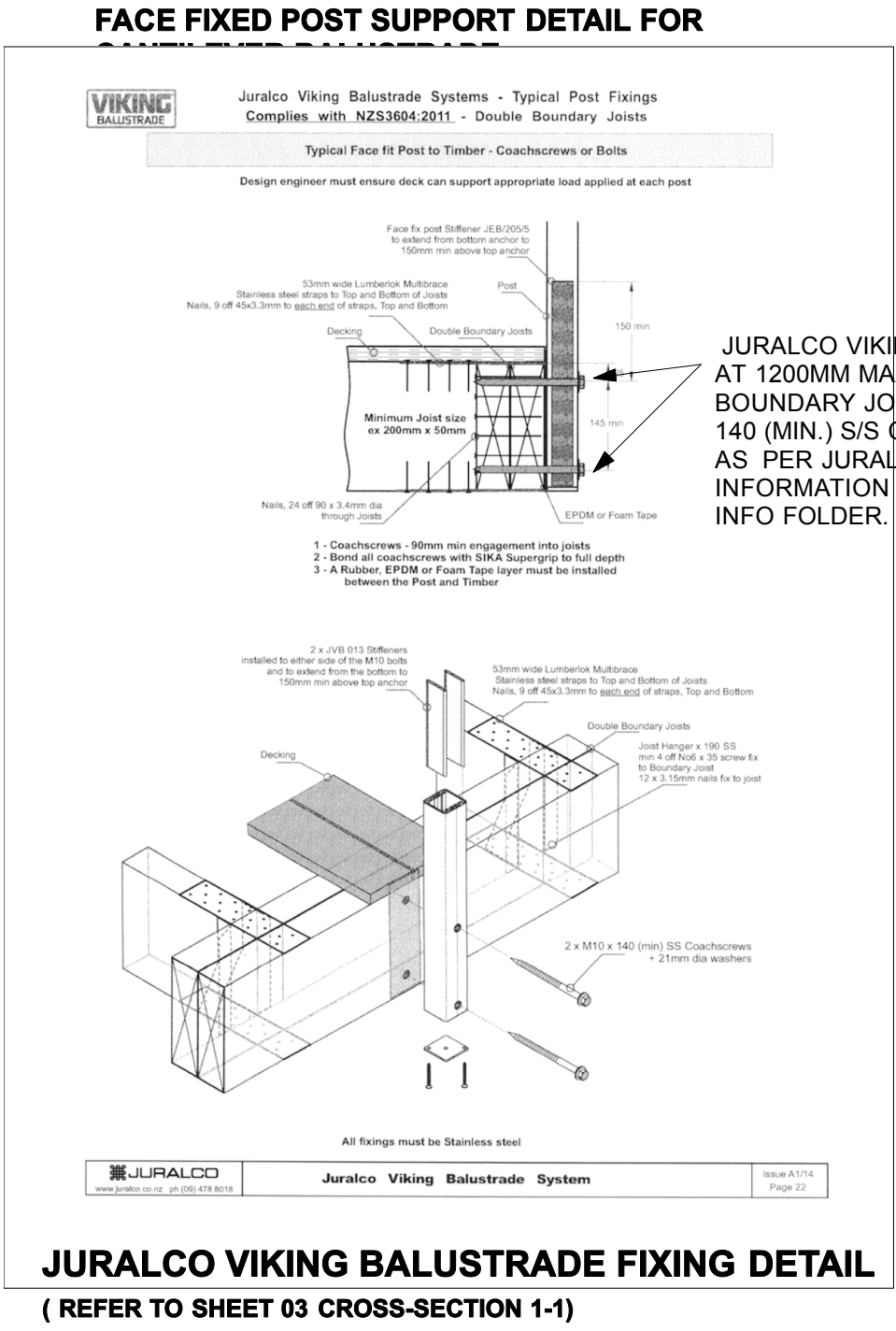


BEAM / POST CONNECTIONS



SUBSOIL CLASSIFICATION TAKEN AS E
ROOF PITCH =0
FROM TABLE 5.8 NZS3604:2011, MULTIPLICATION
FACTOR
E FOR ZONE 2 =0.8
15BUS/M@ X0.8= 12BU/M2
FOR DECK DIVIDE BY 2= 6 BUS/M2
AREA XS 6 BUS/M2
= 21M2X 6= 126 BUS REQUIRED.
4 PROLAM PLP16 200MC (180X180) PROVIDE 156 BUS
(REFER TO PROLAM POST SUMMARY SHEET IN A4
ADDITIONAL INFO FOLDER)

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DWG	Details, Bracing	SCALE @ A2 1:50 DRAWN MR	05
CHKD		REVISION	

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